



303 North 1st Main Street • P.O. Box 447 • Carl Junction, MO 64034 • 417-649-7237  
email: [cjcituhall@carljunction.org](mailto:cjcituhall@carljunction.org) • [www.carljunction.org](http://www.carljunction.org) • Fax 417-649-6043

## NOTICE OF MEETING

PUBLIC NOTICE IS HEREBY GIVEN THAT A " PLANNING & ZONING COMMISSION" MEETING OF THE CITY OF CARL JUNCTION, MISSOURI, WILL BE HELD AT THE CITY HALL, 303 N MAIN STREET ON MONDAY AUGUST 10, 2015 AT 7:00 PM. TO CONSIDER AND ACT UPON THE MATTER ON THE FOLLOWING TENTATIVE AGENDA AND SUCH OTHER MATTERS AS MAY BE PRESENTED AT THE MEETING AND DETERMINED TO BE APPROPRIATE FOR DISCUSSION AT THAT TIME.

1. Opening
  - Roll Call
  - Pledge of Allegiance
  - Approve Agenda
  - Review Minutes from previous meeting
2. Public Hearings & New Business (concurrently)
  - Case #15-06- Amend land use section 410-Subdivision regulations
  - Case #15-07- Site plan for CJ Chamber- 205 N Main St
3. Old Business
  - No old business
4. New Business
5. Member and Committee Reports
6. Report from the Board of Aldermen
7. Public Forum
  - None scheduled
8. Adjournment

THIS MEETING WILL BE OPEN TO THE PUBLIC DATED THE 6th OF AUGUST, 2015

  
H MATNEY, CITY CLERK

The City of Carl Junction will represent our citizens, provide high level services,  
and plan for the future of our community.

- Carl Junction Mission Statement

CITY OF CARL JUNCTION  
Planning & Zoning Commission  
Meeting Minutes  
13July2015

1. OPENING

The July 13th, 2015 meeting of the Planning & Zoning Commission of Carl Junction, Missouri was called to order by Chair Dawn Trujillo at 7:12pm.

Roll call was taken. Present were Bill Stansberry, Dawn Trujillo, Steve Lawver, Cory Mounts, Mike Brower. There was a quorum. Absent were Randy Lyon, Eddie Kreighbaum and new member Ethan Giertz. There was a motion (Lawver), a second (Mounts) and carried unanimously to approve the agenda.

The minutes from June 22nd, 2015 were presented. There was a motion (Lawver), a second (Mounts) and carried unanimously to approve the minutes as presented.

2. PUBLIC HEARING AND NEW BUSINESS (concurrently)

Case #15-05-Preliminary Plat Fox Briar Plat #2- Schuber Mitchell Homes

Gerald Norton, Tri-State Engineering & Damen Schuber & Dan Mitchell from Schuber Mitchell Homes presented this case.

This is a continuation of the case that was tabled on 06/22/2015

Based on 2008 plat, adjusted to add more lots. Modification to storm water detention to show larger basin and location off of the plat. Easements shown in correct location. Utilities corrected to show all lots served. No easements from adjoining land owners until Final Plat. Detention and cui de sac on Harris property. Lots 1&2 and lots 18-24 drain to the east, not the west onto the lots 12-16 along Copper Oaks.

Supporting:

Dan Mitchell - Balancing land owner rights and what is legal and according to our code allows 80' wide lots. Likes building here based on the market that we have.

Joe Harris-913 W Briarbrook Ln, Owner to the south and west of plat. Requested by Schuber Mitchell to provide easement for detention and cui de sac. Has 25 acres to the south that would like to build their single family home on. Great variety of sizes in Briarbrook. Duplexes across the street, 7,000sqft beside and 5,500 sqft beside. No contract on any of his land to Schuber Mitchell.

Damen Schuber-122 N Windwood, Development based on lot minimums and the cost of development.

Against:

Richard Zaccardelli-Citizens represented here tonight are his constituents, has consistently heard concerns about traffic. 24 homes on this plat and 50 more is proposed future plat. CJ Residential Care has plans to build another section of the care facility which would block access to Fir Rd.

Ron Trujillo-905 Copper Oaks, Handed out sheet about home sales in Carl Junction, avg home size of 3,100sqft. Objectives from the Commission's By-Laws, Conserve taxable value of land, Reduce traffic congestion, Prevent over-crowding and population....., Protect the character of neighborhoods, Prevent changes to character, Stability of neighborhoods, To what extent would be detrimental.

John Hammer-906 Copper Oaks, Request that the developer build a different entrance road from Fir or Joplin St. Safety is a huge concern with traffic volume already on Copper Oaks.

David Jordan-706 Blackthorn, Commission should promote orderly growth, planned growth. This plan is by the developer not the city. Lots 1-6 and 23, 24 push water to the east.

Howard Burnison-907 Copper Oaks, Smaller lots mean the addition of 6 more lots in the original plan. Section 410 sets the lot sizes.

Kelly Woestman-land west of Gold Leaf, How are they going to handle the development and would be more appropriate to use the existing lot size not the smaller lot size.

Shane Solberg-809 Copper Oaks, Infrastructure size and traffic through the assisted living facility is a problem. No sidewalks, foot traffic with kids and elderly a problem already. This would create a problem with emergency vehicles, buses. A big safety issue.

Troy Salchow-305 Gold Leaf, What does city want? Briarbrook is eclectic with different types large, small, duplex, current diversity is spot not large scale development. This would be a change. Scale of the proposal creates issues with drainage that is already inadequate. Presented several pictures to show issues of drainage. Where does this all drain, capacity of life detention. Section 410.010 states to "avoid flooding" and to be aware of traffic and overcrowding.

Paul Colton-810 Copper Oaks, Bought his house and this plat is adjacent to his property to the west. That land is higher and it will drain into his backyard.

Commission discussion;

Dawn-It needs to be noted that not all the lots drain to the west. Lots 1&2, Lots 18-24, drain to the backyards of the houses along the west side of Copper Oaks.

Steve-It is apparent that there are several issues with drainage and safety. Pointed out that the Commission is making a recommendation to the Board of Aldermen and it is they that make the final decision.

Cory-By Laws need to be looked at and we do not have a copy of them at the moment. The Commission is trying to protect the neighborhood.

Mike -Things change and we need to check the by laws.

Bill-Not really in favor of this development but we need to make sure that everything is in the best interest of the community.

There was a motion (Brower) to table Case 15-05, a second (Stansberry). Carried unanimously.

Case #15-06- Amend land use section 410-Subdivision regulations

Language presented for Section 410.100.3.1

- I. To maintain neighborhood integrity, no residential lot can be platted less than the average lot within 600' of said lot. Frontage must be 90% of average lot width, not less than 80', along the same road 600' in either direction. This applies to new subdivisions or existing lots and new subdivisions that are adjacent to existing lots or subdivisions.

After some general discussion language changed to:

- I. To maintain neighborhood integrity, no R-1 residential lot can be platted less than 90% of the average lot size within 1,000 foot radius of said lot. Frontage must be 90% of average frontage along the same road 1,000 feet in either direction. This prohibits replatting of existing lots and subdivisions that are adjacent to existing residential lots or subdivisions.

City Attorney has not reviewed this language and should go before him before any action taken.

3. OLD BUSINESS

None

4. NEW BUSINESS

None

5. MEMBER AND COMMITTEE REPORTS

None

6. REPORT FROM THE BOARD OF ALDERMEN

None

7. PUBLIC FORUM

Howard Burnison, 907 Copper Oaks

Reminded Commission that Section 410 provides lots of direction but also lots of leeway when dealing with issues like was before the Commission tonight. Would suggest a 1000' instead of 600' for new code language. His experience is that larger lot sizes promote larger houses which in turn then promotes higher home values. We need to consider the future with all changes.

8. ADJOURN. 8:50pm, (Lawver/Stansberry)

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Steve Lawver, Secretary

Use	A	RE	RR	R-1A	R-1	R-1.5	R-2	R-3	R-3A	R-3B	PR	Use Standard
<b>Lodging</b>												
Bed and Breakfast	S	S	-	-	-	-	-	-	-	-	-	Section 420.030H
<b>Sports and Recreation, Participant</b>												
Outdoor	C	C	C	C	C	C	C	C	C	C	P	
Indoor	C	-	-	-	-	-	-	-	-	-	P	
<b>OTHER USES</b>												
<b>Accessory Uses</b>	S	S	S	S	S	S	S	S	S	S	S	Section 420.050
<b>Agricultural Uses</b>												
Farming	P	-	-	-	-	-	-	-	-	-	-	
Boarding Stables and Riding Schools	C	-	-	-	-	-	-	-	-	-	-	Section 420.040A
<b>Home Occupation</b>	S	S	S	S	S	S	S	S	S	S	-	Section 420.040B
<b>Parking</b>												
Accessory Parking	P	P	P	P	P	P	P	P	P	P	P	
<b>Wireless Communication Facility</b>											Section 420.040C	
Colocated	S	S	S	S	S	S	S	S	S	S	S	

Section 405.030 Bulk and Dimensional Standards

A. Bulk and Dimensional Standards Table

The following bulk and dimensional standards apply to the agricultural and residential districts unless otherwise specifically allowed by this code. See Section 415.060 for PUD standards, Section 415.040 for Planned district standards and Section 415.070 for Parks, Recreation, and Public Use District standards.

	A	RE	RR	R-1A	R-1	R-1.5	R-2	R-3	R-3A	R-3B
<b>Minimum Lot Area</b>										
per lot	10 ac.	3 ac.	1 ac.	10,000 sq.ft.	8,400 sq.ft.	6,500 sq.ft.	10,000 sq.ft.	11,250 sq.ft.	12,000 sq.ft.	12,000 sq.ft.
per dwelling unit	10 ac.	3 ac.	1 ac.	10,000 sq.ft.	8,400 sq.ft.	6,500 sq.ft.	5,000 sq.ft.	3,750 sq.ft.	2,000 sq.ft.	2,000 sq.ft.
Minimum Lot Width (ft.)	330	220	125	70	70	60	70	90	90	90
Minimum Lot Depth (ft.)	100	100	100	100	100	100	100	120	120	120
<b>Yards, Minimum (ft.)</b>										
Front	50	50	40	30	30	30	30	30	30	30
rear	50	40	30	30	30	30	30	30	30	30
side	15	15	15	10	10	7.5	10	10	10	10
Maximum Building Height (feet)	35	35	35	35	35	35	35	50	50	50
Maximum Building Coverage(%) [1]	10	30	30	30	30	40	30	30	40	40

[1] Includes outbuildings and accessory buildings. (See also Section 420.050)

B. Exceptions to Dimensional Standards Table

1. Projections into Required Yards (Implements S- Orrlinanu; 2011-92.28.11)

Required yards must be unobstructed and unoccupied from the ground to the sky except that certain building features and structures are allowed to project into required yards to the extent expressly indicated in the following table:

**City of Carl Junction**  
**800 E. Pennell P.O. Box 447**  
**417-649-7237 Fax 417-649-6843**

Case No.: 11-17  
 Filing Fee: 6j, & A \$£  
 P&Z Date: S-10-15  
 Board of Aldennan  
 Date: 1-15

**Site Plan Review Checklist**

Name of Project:	<u>CT Chamber Building</u>
Location of Project:	<u>205 N. Main St.</u>
Name of Owner:	<u>CT Chamber of Commerce</u>
Address of Owner:	<u>PO Box 303</u>
Name of Developer:	<u>CT Chamber of Commerce</u>
Address of Developer:	<u>PO Box 303</u>
Site Plan Prepared By:	<u>Allyson Martin</u>

The following checklist is to be complete by the applicant/developer/engineer and shall accompany the Site Plan when it is submitted to the City Planning & Zoning Commission. The Site Plan shall include the following data, details and supporting information, which are found to relevant to the proposal. The number of pages submitted to the City Clerk will depend on the proposal's size and complexity. The applicant shall make notations explaining the reasons for any omissions. Site plans shall be prepared by a registered professional engineer, architect or land surveyor registered in the State of Missouri.

Does the Site Plan comply with or show the following? Yes No

1. Name of the project, address, boundaries, date, north arrow & scale of the plan. ✓
2. Name and address of the owner of record, developer, and Seal of the engineer, architect or land surveyor. ✓
3. Name and address of all owners of record of abutting parcels.
4. All existing lot lines, survey pin locations, easements and right-of-ways. Include area in acres or square feet, abutting land uses and structures. ✓
5. The location and use of all existing & proposed structures within the development. All dimensions of heights & floor show all exterior entrances & all anticipated future additions or alterations. ✓ (SEE ARCHITECTURAL PLANS)

6. The locations of all present & proposed public & private ways, parking areas, driveways, sidewalks, ramps, curbs & fences. Location, type & screening details for all waste disposal containers.
7. The location, height, intensity & bulb type of all external lighting fixtures. The direction of illumination & methods to eliminate glare onto adjoining property.
8. The location, height, size, materials & design of all proposed signage in conformance with the city code.
9. The landscape plan which shows all existing open space, trees, forest cover, water sources & all proposed changes to these features. Size, type, location & number of plant materials existing or proposed as well as notation of all areas to be seeded & sodded.
10. The location of all present & proposed utility systems including sewer, water, telephone, cable, electrical & stormwater.
11. Plans to prevent the pollution of surface or ground water, erosion of soil both during & after construction, excessive raising or lowering of the water table & flooding of other properties.
12. Topography (unless specifically waived) with contour intervals of not more than two (2) feet except where the ground is too flat for contours, spot elevations provided.
13. Zoning district boundaries adjacent to the site's perimeter drawn & identified.
14. Traffic flow patterns within the site, entrances & exits, loading & unloading areas, curb cuts on the site & within 100' of site. If in heavy traffic areas, the City Engineer may require a Detailed traffic study.
15. For new construction, alterations to any existing structure, a table containing the following information:  
 Area of structure to be used for a particular use, retail, office, storage, etc., maximum number of employees, maximum seating capacity, where applicable, number of parking spaces existing & required for the use, & a landscape plan for improving large areas of paved parking with appropriate landscaping may be required.

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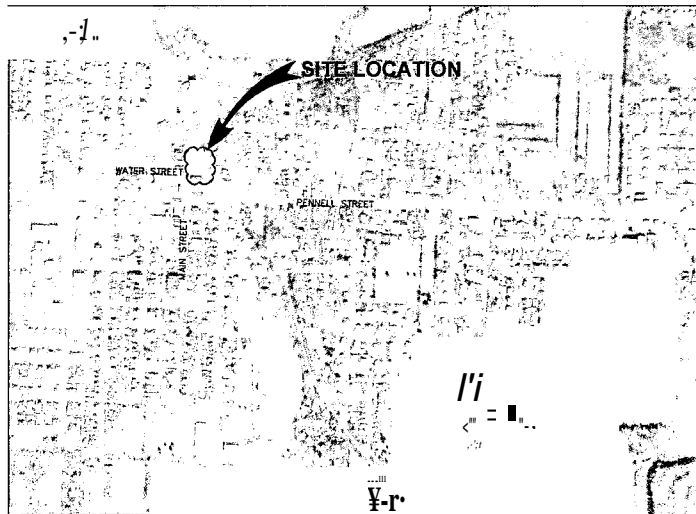


# CHAMBER OF COMMERCE BUILDING CARL JUNCTION, MISSOURI

OWNER OF RECORD: CARL JUNCTION AREA  
CHAMBER OF COMMERCE  
303 N. MAIN STREET  
CARL JUNCTION, MO 64834

PROPOSED BUILDING: SEE ARCHITECTURAL PLANS  
FOR BUILDING HEIGHTS,  
FLOOR PLANS, NUMBER OF  
EMPLOYEES, AND  
OCCUPANCY USE

LOT AREA: 0.42 ACRES  
CURRENT ZONING: C-2  
REQUIRED PARKING:  
PROVIDED PARKING: 1±



## INDEX to DRAWINGS

DRAWING TITLE	DWG. No.
SITE PLAN	1
STAKING PLAN	2
STANDARD CONSTRUCTION DETAILS	3
EROSION CONTROL PLAN	4



**ALLGEIER, MARTIN and ASSOCIATES, INC.**  
CONSULTING ENGINEERS and SURVEYORS  
7231 EAST 24th STREET JOPLIN, MISSOURI 64804 (417) 680-7200

THIS PLAN IS A PRELIMINARY PLAN AND IS NOT TO BE USED FOR CONSTRUCTION. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE ENGINEER'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED. MISSOURI REG. NO. 00027

**JULY, 2015**



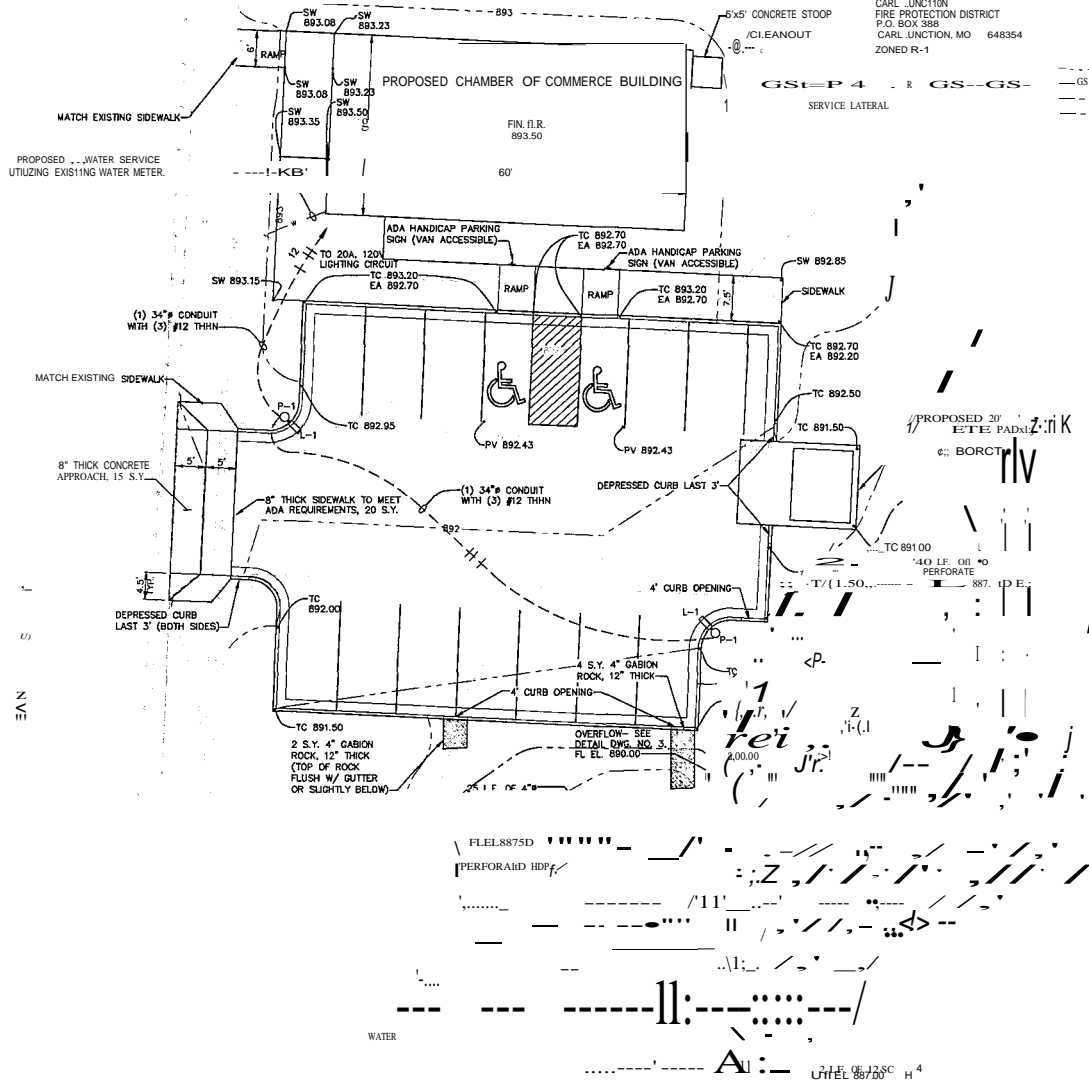
NOTE: SCALE FOR 11 x 17 SIZE SHEET, HALF OF SCALE NOTED.

L-1 FIXTURES: BEACON LIGHTING (HUBBEL)  
LED VP-L, SONB-235.13, UNV, PCR-II,  
MOO, BLC, PK2, GVS  
P-1 POLES: NHAILEY DIRECT EMBEDDED  
TAPERED COMPOSITE POLE, TR30,  
20-DE-GRY, SMS-23, RBC

AMERICAN LEGION POST 781 OF CARL JUNCTION  
P.O. BOX 896  
JOPLIN, MO 64802  
ZONED R-1

CARL JUNCTION  
FIRE PROTECTION DISTRICT  
P.O. BOX 388  
CARL JUNCTION, MO 648354  
ZONED R-1

- LEGEND
- EXISTING SEWER LINE
  - EXISTING WATER LINE
  - PROPERTY LINE
  - EXISTING WATER LINE
  - EXISTING WATER LINE
  - EXISTING STORM SEWER LINE
  - PROPOSED WATER LINE
  - GS --- GS --- PROPOSED SEWER LATERAL
  - 895 --- PROPOSED MAJOR CONTOUR
  - 893 --- PROPOSED MINOR CONTOUR
  - EXISTING LIGHT POLE EXISTING WATER LIEBER
  - Ⓟ PROPOSED CLEANOUT



- GRAPHIC SCALE
- NOTES:
1. ALL AREAS OUTSIDE OF PAVING AND BUILDING SHALL RECEIVE A MIN. OF 4" OF TOPSOIL AND BE FERTILIZED AND HYDRO SEEDED TO BE PROPERTY LINES AND ANY OTHER DISBURBEO AREAS
  2. ALL EAR WORK, PAVING, ETC. SHALL BE CONSTRUCTED ACCORDING TO THE CITY OF CARL JUNCTION'S STANDARD SPECIFICATIONS.

7231 EAST 24th STREET JOPLIN,

WATER STREET

WEI-EI



**ALLGEIER, MARTIN and ASSOCIATES, INC.**  
CONSULTING ENGINEERS and SURVEYORS  
MISSOURI 64804 (417) 680-7200

THE PROFESSIONAL DEVELOPMENT OF PROJECTS  
AND/OR PROPERTY OF CLIENTS MUST BE  
SERVICED BY THE LICENSED PROFESSIONAL  
ENGINEER OR SURVEYOR. THE DESIGN PROJECTS  
OF THIS FIRM ARE THE PROPERTY OF  
ALLGEIER, MARTIN AND ASSOCIATES, INC.

CERTIFICATE OF AUTHORITY  
MISSOURI NO. 59047

DAH JULY, 2015  
CARL JUNCTION, MISSOURI

NCTION CHAMBER OF COMMERCE

DWG NO.

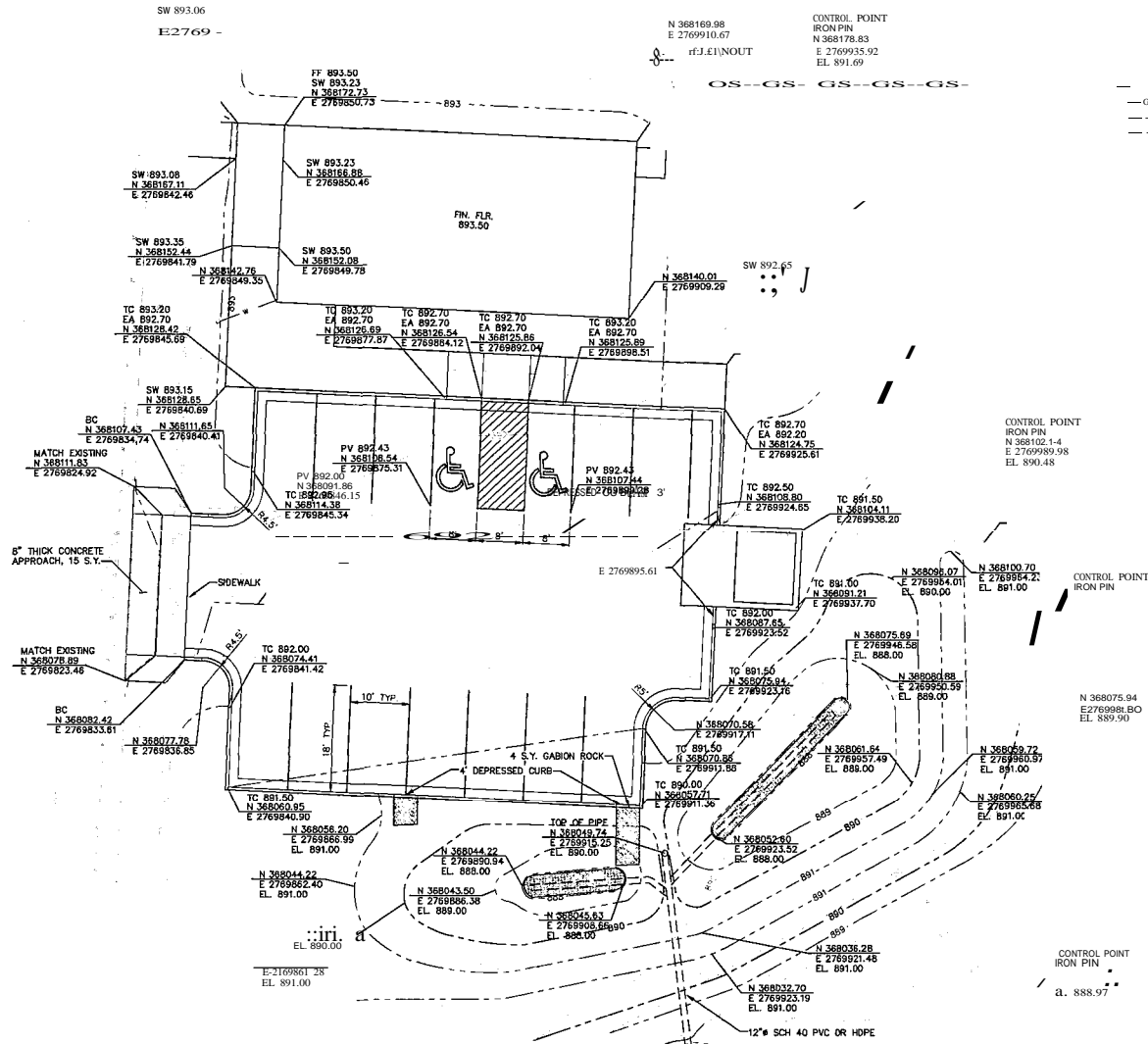
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NOTE: SCALE FOR 11 x 17 SIZE SHEET, HALF OF SCALE NOTED.

- EXISTING SEWER UNE
- EXISTING WATER UNE
- PROPERTY UNE
- EXISTING WATER UNE
- PROPERTY UNE
- EXISTING STORM SEWER UNE
- EXISTING WATER UNE
- EXISTING STORM SEWER UNE
- PROPOSED WATER UNE
- PROPOSED SEWER LATERAL
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING LIGHT POLE
- EXISTING WATER METER
- PROPOSED CLEANOUT

GRAPHIC SCALE  
'ko'.Jw.U' J



WATER STREET

1" = 10' (Scale)



**ALLGEIER, MARTIN and ASSOCIATES, INC.**  
 CONSULTING ENGINEERS and SURVEYORS  
 7231 EAST 24th STREET, JOPLIN, MISSOURI 64804 (417) 680-7200

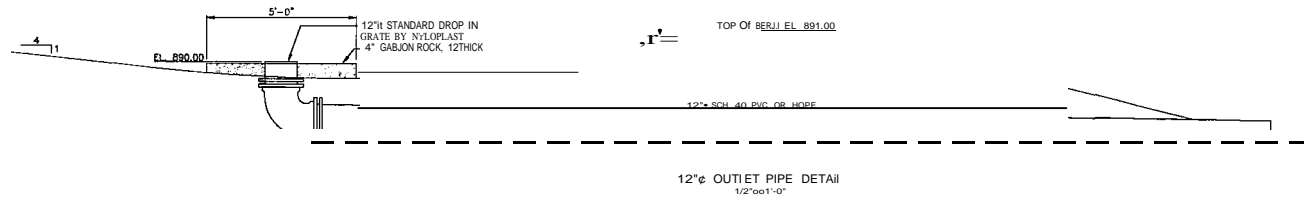
CERTIFICATE OF LIABILITY  
MISSOURI BR 0000017

DATE JULY 2015

STAKING PLAN  
 CARL JUNCTION CHAMBER OF COMMERCE  
 CARL JUNCTION, MISSOURI

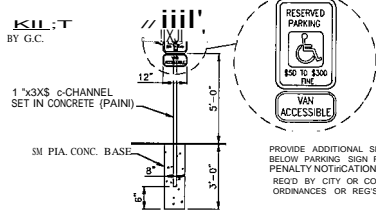
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12" OUTLET PIPE DETAIL  
1/2"=1'-0"

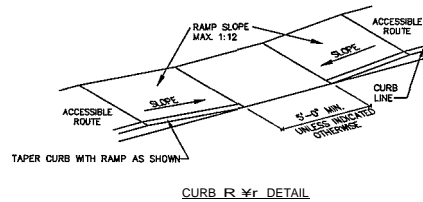
INSTALL BY G.C.



NOTE: PROVIDE AND INSTALL 12" x 18" PAINTED SIGN WITH ACCESSIBLE LOGO AND LETTERS "VAN ACCESSIBLE" AS INDICATED. LIGHT SIGN ON LIETAL STANDARD. SIGN TO BE LOCATED AS INDICATED ON DRAWINGS IF NOT INDICATED AS FOLLOWS

AT LOCATIONS WHERE WALKWAY ALONG FRONT EDGE OF PARKING STALL - SET SIGN AT CENTERLINE OF STALL SET AT OPPOSITE SIDE OF WALK.  
AT LOCATIONS WHERE NO WALK ALONG FRONT EDGE OF PARKING SET SIGN AT LIN 2'-6" FROM CURB OR PARKING BULWER, AND CENTERED IN STALL WIDTH.  
AT INSTALLATIONS OF MULTIPLE SIGNS IN A ROW ALIGN SIGNS IN A EVEN ROW AND SET SIGN AT HEIGHT SHOWN AND ALIGN ALL ADJACENT SIGNAGE HORIZONTALLY. MAINTAIN MAX. HEIGHT UNLESS NOTED OTHERWISE.

HANDICAP ACCESSIBLE SIGN DETAIL



CURB RAMP DETAIL

CONSTRUCTION NOTES:

ALL AREAS OF THE PEDESTRIAN ACCESS ROUTE MUST BE COMPLIANT WITH THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG). EXCEPTIONS MUST BE APPROVED BY THE ENGINEER. ALL OTHER AREAS OF (NON-COMPLIANCE) SHALL BE REMOVED AND CORRECTED AT THE CONTRACTOR'S EXPENSE.

FINISHED SIDEWALK SHALL BE STABLE, SURF RESISTANT AND SURFACE DOES NOT POND WATER. SIDEWALK AND RAMP CROSS SLOPES SHALL BE A MINIMUM OF 1:1% TO FACILITATE DRAINAGE AND A MAXIMUM OF 2.0:1 TO BE USABLE FOR DISABLED INDIVIDUALS.

STORM WATER INLETS, SIGNS, POSTS, LAMP HOLES COVERS, PULL BOXES AND OTHER ACCESS AIDS SHOULD BE AVOIDED WITHIN THE SIDEWALK. IF SUCH A LOCATION IS NECESSARY, THE FEATURE MUST MEET ADA STANDARDS.

THE RUNNING GRADE OF A SIDEWALK SHALL NOT EXCEED 5.0% UNLESS IT IS MATCHING THE GRADE OF THE ADJACENT ROADWAY.

LANDINGS SHALL BE CONSTRUCTED AT THE TOP AND/OR BOTTOM OF A CURB RAMP WHEREVER A TURNING MOVEMENT OR ACCESS TO PEDESTRIAN PUSH BUTTON IS REQUIRED.

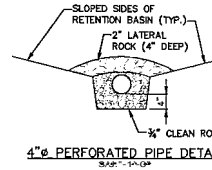
LANDINGS LOCATED IN THE ROADWAY MUST BE COMPLETELY CONTAINED WITHIN THE CROSSWALK.

SIDE FLARES OF CURB RAMP IN THE PATH OF PEDESTRIAN TRAVEL (TRAVERSABLE), SHALL NOT EXCEED A SLOPE OF 1V:10H. SIDE FLARES OUTSIDE THE PEDESTRIAN PATH (NONTRAVERSABLE) MAY BE 1V:2H OR VERTICAL.

TRANSITION FROM SIDEWALK TO CURB TO ROADWAY MUST BE FLUSH.

WHEN IT IS TECHNICALLY NOT FEASIBLE TO CONSTRUCT FACILITIES, A SLOPE BETWEEN 1V:12H AND 1V:10H IS PERMISSIBLE FOR A MAXIMUM RISE OF 6", AND A SLOPE BETWEEN 1V:10H AND 1V:8H IS PERMISSIBLE FOR A MAXIMUM RISE OF 3".

IF CONSTRUCTION OF 6' x 6' LANDING IS NOT FEASIBLE, 4' x 4' LANDING MAY BE USED.

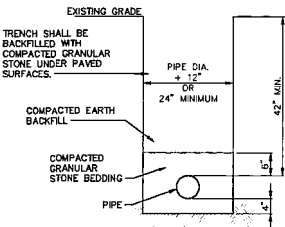


4" PERFORATED PIPE DETAIL

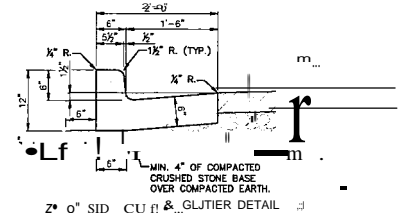
VARIES (SEE PLAN)

SIDEWALK DETAIL

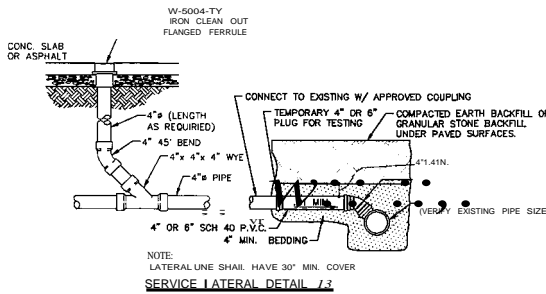
NOTE:  
1. FOR INTERSECTION JOINTS SPACING SHALL MATCH SIDEWALK WIDTH, 6" MAX.



SEWER BEEEPING DETAIL



2" SIDEWALK & CURB DETAIL



SERVICE LATERAL DETAIL

MINIMUM COVERING PASSING

1	100
3/4	9D-100
3/8	2D-55
No. 4	D-10
No. 6	O-5

PRIME COAT  
ASPHALT PAVING @ 2" MINIMUM  
BASE





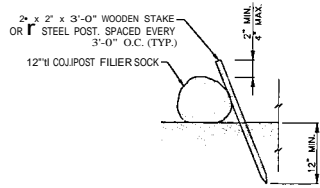
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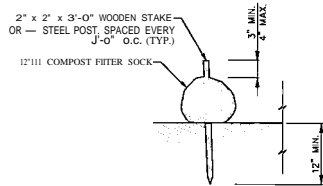
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NOTE: SCALE FOR 11 x 17 SIZE SHEET, HALF OF SCALE NOTED.



ALTERNATIVE 1 (Sloping)



ALTERNATIVE 2 (Flat)

COMPOST FILTER SOCK

COMPOST FILTER SOCK, SLOPE, SOCK SPACING AND SOCK DIAMETER

SLOPE

10:1 5:1

2:1 1:1

50:1 0:1

CONSTRUCTION ENTRANCE

1:1  
2:1  
3:1  
4:1  
5:1  
6:1  
7:1  
8:1  
9:1  
10:1  
15:1  
20:1  
25:1  
30:1  
40:1  
50:1

MINIMUM 5" LAYER OF 3"-5" WASHED & LOCAL FACTORY

GRADED COARSE AGGREGATE DRIVE EARTH

SURFACING FOR CONTROL OF OFF-SITE

TYPICAL SECTION THROUGH CONSTRUCTION ENTRANCE



7231 EAST 24th STREET JOPLIN, MISSOURI 64804 (417) 680-7200

CERTIFIED AUTHORITY MISSOURI 00000001

TRACKING DURING CONSTRUCTION.

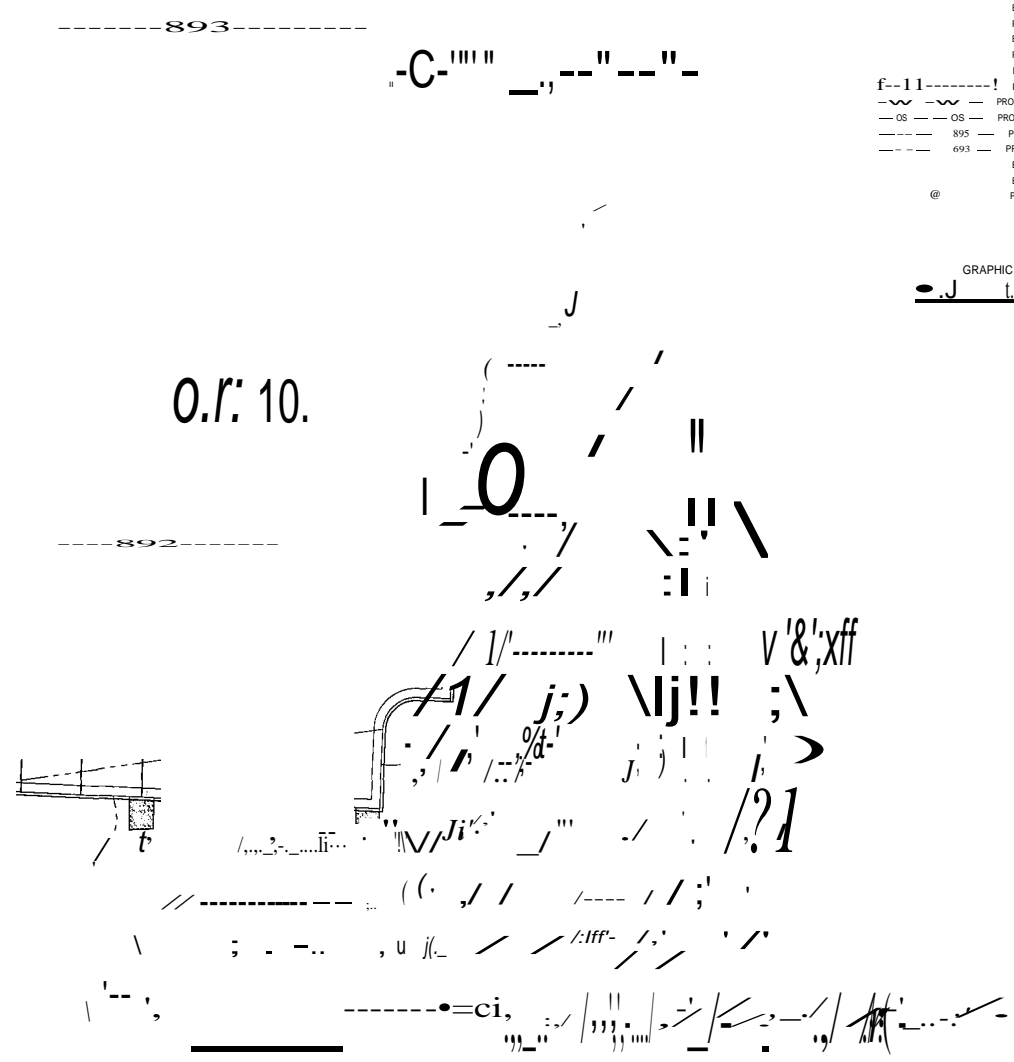
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DWG NO.

4



- EXISTING SEWER LINE
- EXISTING WATER LINE
- EXISTING WATER LINE
- EXISTING WATER LINE
- EXISTING WATER LINE
- EXISTING STORM SEWER LINE
- PROPOSED SILT SOCK
- PROPOSED WATER LINE
- OS --- OS --- PROPOSED SEWER LATERAL
- 895 --- PROPOSED MAJOR CONTOUR
- 693 --- PROPOSED MINOR CONTOUR
- EXISTING LIGHT POLE
- EXISTING WATER METER
- PROPOSED CLEANOUT



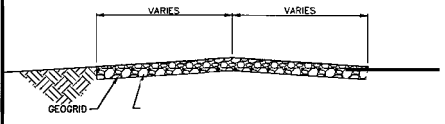
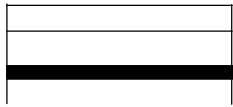
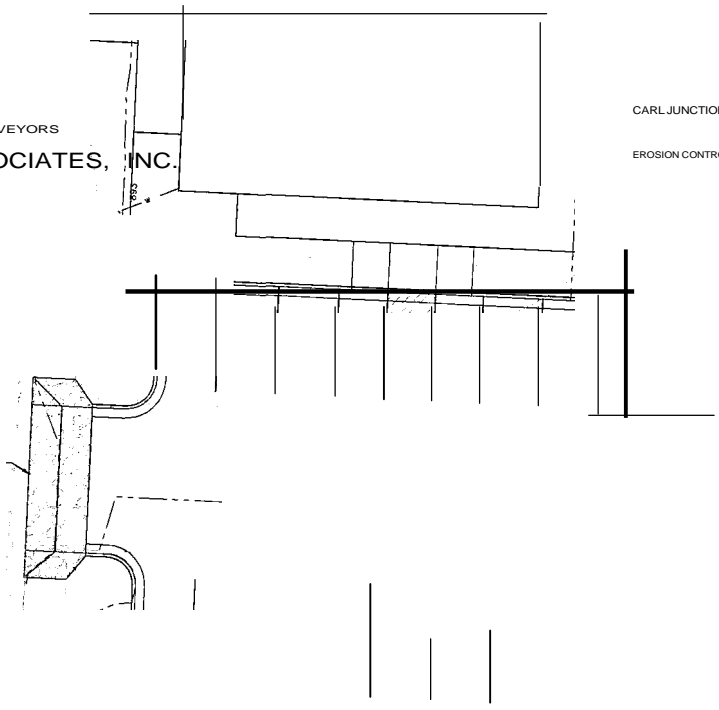
1. WHEN NECESSARY, EQUIPMENT TIRES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WITH DRAINAGE SLOWING AWAY FROM THE PUBLIC STREET OR ROAD AND THE STABILIZED ENTRANCE SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE USING APPROVED METHODS.
2. THE SITE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT RUCKING OR FLOWING OF SEDIMENT ONTO PAVED SURFACES. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS MAY REQUIRE. ALL SEDIMENT SPILLED, DROPPED, WASHED AWAY OR TRACKED ONTO PAVED SURFACES MUST BE REMOVED AS SOON AS POSSIBLE.



Scale: 1/4" = 1'-0"

ENGINEERS and SURVEYORS  
**ALLGEIER, MARTIN and ASSOCIATES, INC.**  
 CONSULTING

CARL JUNCTION CHAMBER OF COMMERCE  
 EROSION CONTROL PLAN



7231 EAST 24th STREET JOPLIN, MISSOURI 64804 (417) 680-7200

CERTIFIED AUTHORITY  
 MISSOURI 00000001

CARL JUNCTION, MISSOURI

DWG NO.

4

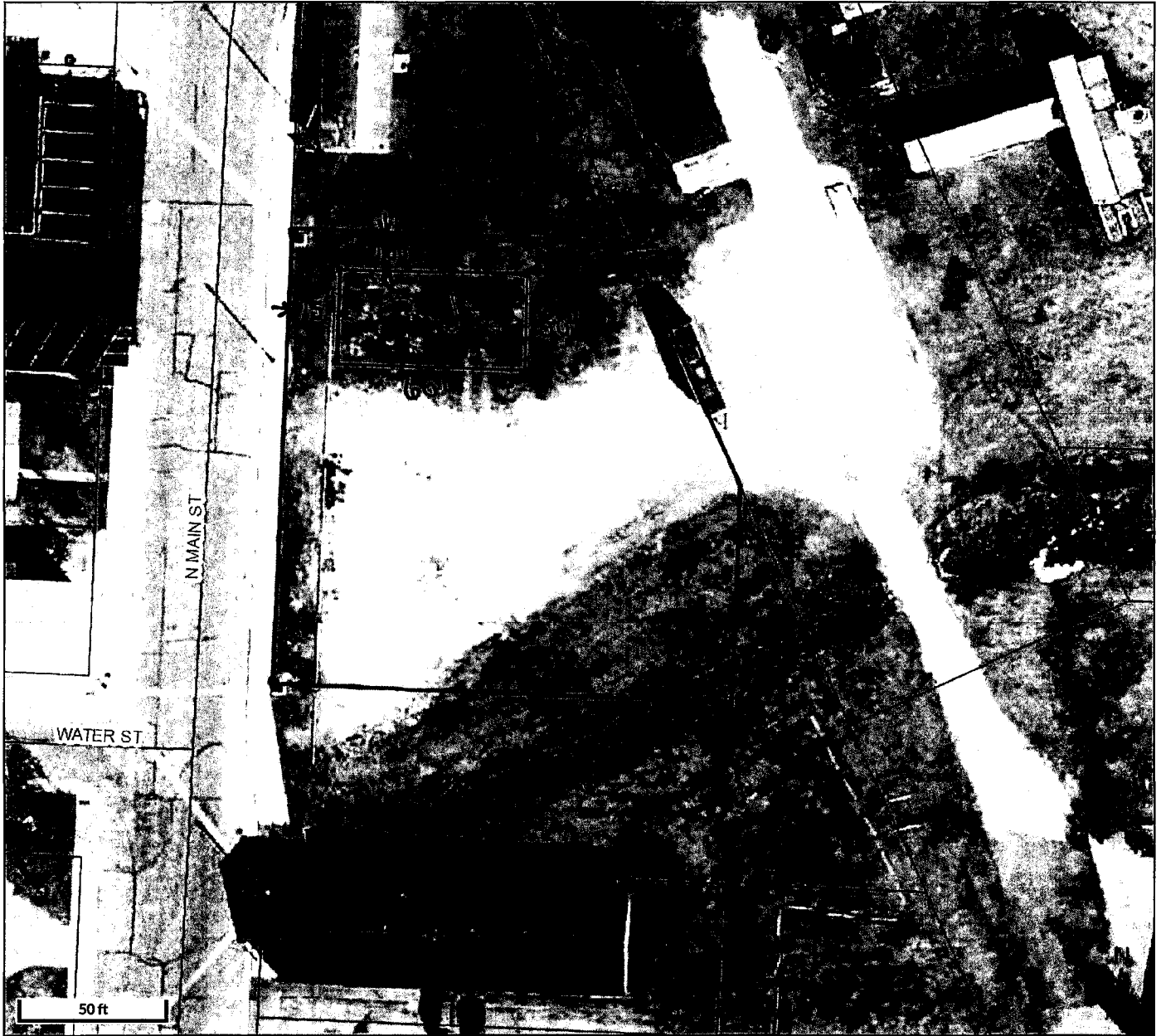




# OBeaconni Jasper County, MO

205 N Main

CJ Chamber of Commerce



Date created:8/4/2015  
Last Data Upload:8/4/2015 ?:03:04AM

Developed by  
Schneider The Schneider Corporation

# BUILDING PERMIT

DATE AUGUST 3, 2015 PERMIT NUMBER 2528  
APPLICANT ASBELL EXCAVATING ADDRESS 9400 STHWY 171 CARLJCT, MO 64834  
PERMIT TO COMMERCIAL STORY 1 OF UNITS           

CONSTRUCTION ADDRESS 205 N MAIN ZONE DIST           

SUBDIVISION SKINNER 1<sup>st</sup> ADD LOT# 76,77,78 LOT SIZE           

BASEMENT WALLS/FOUNDATION TYPE CONCRETE PAD

REMARKS           

AREA/VOLUME 1800 SQ FT ESTIMATED COSTS 25,000.00 SEWER \$             
WATER            INSP FEE \$             
PERMIT FEE            DEPOSIT \$             
TOTAL DUE \$N/A

OWNER            CJ  
CHAMBER OF COMMERCE             
ADDRESS PO BOX 303  
CARL JCT. MO 64834

BUILDING DEPT 

**POST THIS CARD SO IT IS VISIBLE FROM STREET**  
**ALL INSPECTIONS MUST BE CALLED IN BY**  
**THE GENERAL CONTRACTOR OR OWNER.**  
**24 HOURS NOTICE IS NEEDED**

#2528

BUILDING PERMIT INFORMATION

No Charge

CONTRACTOR/BUILDER 't:e 4AslJ\ &Y.cC4...v-c...t''--a 1''--v.. ll A. .Inc

ADDRESS C:\ 1..LO S ..t)( q .1':-0 L...'f'?

PHONE NUMBER 649-1269

FAX NUMBER 649-1000

OWNER CT chamber of Commerce

ADDRESS 205 N. Main St. POBx 303

PHONE NUMBER 649-8046

FAX NUMBER \_\_\_\_\_

TYPE OF CONSTRUCTION

SINGLE FAMILY **D** DETACHED **D**

MULTI-FAMILY **D** REMODEL **D**

COMMERCIAL **[fl'** ADD-ON **D**

NUMBER OF STORIES 2 3 1

SUBDIVISION NAME \_\_\_\_\_

LOT# ? ) 7, 7\ LOT SIZE \ ,c-'' c \ '6G 1- (-t /- 1- U2 11-f. v.c. 5" ] U

BUILDING SITE ADDRESS 205 N. Main St

TYPE OF FOUNDATION

BLOCK **D** MONOLITH POUR **D**

POURED **D** CONCRETE PAD **[53)**

ICF **D**

SQUARE FEET liOL) ESTIMATED COST \_\_\_\_\_

SPECK **D**

CUSTOM **g**

**A SITE PLAN MUST BE SUBMITTED WITH THIS APPLICATION**

# CITY OF CARL JUNCTION

## SUB-CONTRACTOR LIST

DATE: \_\_\_\_\_ PERMIT#: \_\_\_\_\_

CONSTRUCTION SITE ADDRESS Jc.)- !J. ko. -; ;''

CONTRACTOR/BUILDER A e\ t cctV-o. J.. 'tJ "t- ' ""J

CONTRACTOR FAX# Lq\_.. t u

CONTRACTOR PHONE# g'lg. 1'2-Gc

OWNER CI Chamber of Commerce

EXCAVATING CONTRACTOR 'Jo.. ""=

CONCRETE CONTRACTOR\* ...)"-""-- ""-

BLOCK CONTRACTOR\* same  
(Foundation)

FRAMING CONTRACTOR\* same

EPA LICENSE NO \_\_\_\_\_

PLEASE MAKE A NOTE TO CALL CITY HALL (417)649-7237 TO SET UP ALL INSPECTIONS AND THAT A 24 HOUR NOTICE IS REQUIRED.

BUILDING SPECIFICATION: PLEASE MAKE INQUIRIES TO THE BUILDING INSPECTOR AS TO CURRENT CODE

\*NOTE: THE CITY OF CARL JUNCTION, MO. REQUIRES ALL CONTRACTORS AND SUB-CONTRACTORS TO BE FULLY LICENSED.

PLEASE LIST ALL SUB-CONTRACTORS THAT WILL BE WORKING ON THE PROJECT

SUB-CONTRACTORS

EXCAVATING--

None

CONCRETE'

|

BLOCK LAYERS (FOUNDATION)'

\_\_\_\_\_

FRAMERS'

\*\*\*\*\*

|

BRICK LAYERS

\_\_\_\_\_

ELECTRICIANCS

\_\_\_\_\_

PLUMBERS

\_\_\_\_\_

HVAC

\_\_\_\_\_

GARAGE DOOR INSTALLERS

\_\_\_\_\_

INSULATORS

\_\_\_\_\_

DRYWALL HANGERS

\_\_\_\_\_

DRYWALL FINISHERS

\_\_\_\_\_

PAINTERS

\_\_\_\_\_

ROOFERS

\_\_\_\_\_

CABINET INSTALLERS

\_\_\_\_\_

SIDING INSTALLERS

\_\_\_\_\_

WINDOW INSTALLERS

\_\_\_\_\_

GUTTERING INSTALLERS

|

CARPET & TILE INSTALLERS

\_\_\_\_\_

LANDSCAPING

\_\_\_\_\_

Must have city license in place for building permit to be issued. All other sub-contractors must have license prior to starting their phase of work.

BUILDING PERMIT INFORMATION (cont'd)

2 City water and city sewer must be available for you to connect to at your building site/lot. Septic tanks (or private sewage systems) and wells for potable water are not permitted within the City.

Does your building site/lot have city water and sewer? -c -

3 If applicable, existing and proposed topography shown at not more than two-foot intervals, if any portion of the parcel is within the 100 year flood plain, the area shall be shown, with base flood elevations;

4 Explain storm water runoff control plan and drainage system. Indicate pattern of water drainage.

Per Site Plan

5 Zoning district boundaries adjacent to site perimeter.

C - "C" - \

No action will be taken until the completed BUILDING PERMIT APPLICATION, plus appropriate fees, have been filed in the office of the City Clerk

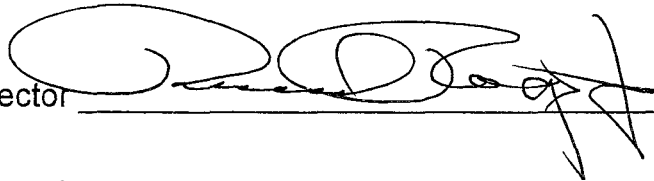
The City Clerk, Building Inspector, City Administrator, and Superintendent of Public Works will review your application along with the site plan detail. They may approve, conditionally approve, or deny the application. If not approved, the applicant shall be notified by the City Clerk or Building Inspector of such action, explaining deficiencies in writing and outline remedies deemed necessary to gain approval of the application.

City **Clerk** \_\_\_\_\_

\_\_\_\_\_  
Date

City Administrator \_\_\_\_\_

Building Inspector \_\_\_\_\_



\_\_\_\_\_  
Date

8-4-15

\_\_\_\_\_  
Date

Superintendent of Public Works \_\_\_\_\_

\_\_\_\_\_  
Date